

Cornerstone Inspection

Property Inspection Report



***1220 Mill Street, San Luis Obispo, CA 93401
Inspection prepared for: Ida Mae Gracia
Real Estate Agent: Kristi Donati - The Avenue Central Coast Realty***

***Date of Inspection: 3/10/2022 Time: 9:00 AM
Age of Home: 1910 Size: 1480
Order ID: 8356***

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**CORNERSTONE
INSPECTION**

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. All repairs must be done by a qualified licensed & bonded trade or profession. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report may only illustrate an example of the issue being reported. More issues or defects may exist that will be discovered by a specialist retained to evaluate the specific issue. Locations of various components identified within the report such as "left" or "right" side, "front" or "rear" of the property are described from the perspective of facing the front door. Please use the photo, if one, on the cover page of this report to define the "front" of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

On this page you will find, in **RED**, a brief summary of any critical concerns of the inspection, as they relate to Health & Safety, or could be costly to repair. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report. Basic maintenance or recommend upgrade items will be in **BLUE**.

Informational comments will be in typical black lettering. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the home has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist. Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Site and Other Comments

Page 7 Item: 2	Environmental Comments	2.3. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.
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Foundation Comments

Page 13 Item: 1	Crawlspace Observations	<p>1.13. The floors are generally wavy or uneven throughout the residence. We can elaborate if necessary, but you should have a specialist conduct a manometer survey or comment on this condition.</p> <p>1.14. The raised foundation home was built prior to the practice of bolting the framing to the foundation and does not meet current seismic safety standards. We recommend a qualified licensed specialist evaluate and provide a quote for retrofitting the foundation. This important safety issue could affect your valuation of the property. Some of the posts and piers that supports structural beams within the foundation crawlspace are not properly connected and are structurally vulnerable. We recommend further evaluation by a qualified licensed specialist and serviced as required</p> <p>1.15. The cripple walls have been seismically displaced or have settled out of plumb, and should be evaluated by a specialist.</p> <p>1.16. The cripple walls do not include shear panel and will remain seismically vulnerable, and therefore should be upgraded.</p> <p>1.17. There is an open electrical junction box, which presents a fire hazard. All junction boxes should be sealed so that any arching or sparking would be contained within the box.</p> <p>1.18. The cast iron drain waste pipes in the crawlspace are beyond their designed life, portions are rusting and should monitor for replacement.</p> <p>1.19. We noted repair made. The repairs appear to be a stop gap and not very effective. We recommend further evaluation by a qualified licensed foundation specialist.</p> <p>1.20. The laundry room framing is not built to current standards and should be evaluated by a qualified licensed foundation specialist and serviced as required.</p>
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Roofing

Page 18 Item: 2	Composition Shingle Observations	2.7. There is a penetration on the roof that is open and should be sealed.
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Plumbing Components

Page 22 Item: 4	Gas Water Heater Comments	<p>4.10. The water heater has been red-tagged by the Gas Company and should be evaluated by a licensed plumbing Contractor.</p> <p>4.11. The vent draft hood is not drafting properly and is spilling combusted gases into the laundry room. We recommend that a licensed plumbing contractor evaluate and service this issue.</p> <p>4.12. The vent pipe should extend at least 3 feet above the roof line and a minimum 5 feet above the flue collar, to safely discharge the bi-products of combustion beyond the residence, and should be serviced.</p> <p>4.13. The diameter of the discharge pipe from the pressure relief valve on the water heater has been incorrectly reduced in size and should be replaced by a licensed plumber before the close of escrow.</p>
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Electrical Service Panels

Page 30 Item: 1	Main Electrical Panel	1.14. Various circuits are not labeled, which is recommended.
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Interior Living Space

Page 31 Item: 2	Living Room	2.5. A window is out of square which indicates movement and damage to the foundation. We recommend further evaluation by a licensed foundation contractor and serviced as required.
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Bedrooms

Page 33 Item: 1	Bedroom 1	<p>1.7. The smoke alarm did not respond, and should be serviced before the close of escrow.</p> <p>1.8. The smoke alarm does not have a battery back-up installed which is required.</p>
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Kitchen

Page 34 Item: 4	Electrical Components	4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.
Page 35 Item: 8	Gas Range & Cook Top	8.2. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

Page 35 Item: 1	1st Guest Bathroom	1.12. The toilet is loose. We recommend the toilet be resealed with a new wax ring, properly bolted and sealed to the floor.
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Attic's

Page 38 Item: 1	Attic	<p>1.6. There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.</p> <p>1.7. There is insulation and knob end tube wiring present which is a safety hazard which should be evaluated by a licensed electrical contractor.</p> <p>1.8. The 1st guest bathroom exhaust duct should be extended to an exterior port.</p> <p>1.9. A vent pipe terminates in the attic and should terminate 6" or more above the roof. This issue should be repaired by a licensed plumber.</p>
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Site and Other Comments

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. The seller's agent was present for the inspection.

1.3. The residence is furnished, and in accordance with California Real Estate Inspection Association (CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.4. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.5. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer disclosure obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report. Our inspections are followed up with an addendum or supplemental information that is issued to our clients after the original reports have been released to the other parties involved in the transaction. If you like the quality and thoroughness of this report, and wish to retain Cornerstone Inspection, Inc., we would be happy to perform an on-site review of the report and inspection for a fee of \$175, or 1/2 the original inspection fee, whichever is more. A review usually takes on the average home about 1 hour. The review includes a consultation at the property, and includes the issuance of a new report and contract in your name.

1.6. We do not inspect window coverings as a part of our service, however there are blinds present with pull cords that have been found to be a choke hazard, especially if small children occupy the home. These cords should be secured within the windowsill area at a point where they can only be reached by an adult.

1.7. We prefer to have the buyers present during, or immediately following, the inspection so that we can elaborate on what may well be complicated or technical issues that could be somewhat difficult for the average person to understand. Inasmuch as you were not present, we encourage you to read the whole report and not just the summary report, and to consult with us directly. Also, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others.

1.8. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

1.9. Due to its age and location, this home could be a historical building. We do not have the expertise to determine if repairs are in keeping with any perceived historical value.

2. Environmental Comments

Observations:

2.1. Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before 1978 should not be assumed to be free from these and other well-known contaminants. Regardless, we do not have the expertise or the authority to detect the presence of environmental contaminants, but if this is a concern, you should consult with an environmental hygienist, and particularly if you intend to remodel any area of the residence.

2.2. We noticed the presence of rodent type droppings in various areas. We recommend you have a pest control company evaluate.

2.3. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have been apparent otherwise.

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirmed moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation hard surfaces and full or partial gutters, which is not ideal. We did not see any evidence of moisture threatening the living space.

2.3. Drainage is largely dependant on soil percolation, which is not ideal. Water may pond during prolonged rains.

2.4. The property does not have hard surfaces in some of the side yards to facilitate drainage. Water will percolate and pond adjacent to the residence which is not ideal. You may wish to consider upgrading the site by adding hard surfaces, swales or area drains that direct water away from the residence.

2.5. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with wooden siding.

3.2. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.

3.3. The siding needs typical maintenance such as sealing and painting. This should include caulking and filling gaps or openings such as small cracks or openings at hose bibs, and sealing with a proper primersealer, then one or two finish coats.



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4. Hard Surfaces

Observations:

- 4.1. There is one or more offsets in the driveway that could prove to be trip-hazards.
- 4.2. There is one or more offsets in the walkways that could prove to be trip-hazards.



There is one or more offsets in the walkways that could prove to be trip-hazards.

5. Wood Trim, Facia and Eave

Observations:

- 5.1. Sections of the fascia, trim and eave need maintenance type service such sealing and painting.
- 5.2. The termite report should confirm moisture, dry rot or insect damage to the facia board and or eaves of the roof.

6. Electrical Components

Observations:

6.1. There does not appear to be any exterior outlets at this property.

6.2. A light is missing its globe or cover and should be serviced.

6.3. The lights outside the doors of the residence are functional.

6.4. An exterior door does not have a light which is required by current standards, which implies that the door has been added.



A light is missing its globe or cover and should be serviced.

7. Doors

Observations:

7.1. The screen door rubs and should be serviced to operate smoothly.

8. Windows

Observations:

8.1. In accordance with industry standards, we only test a representative sample of windows.

8.2. Dual-pane windows are present that includes hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

8.3. There is at least one, but there could be more windows with a broken hermetic seals identified within the report which should be replaced. Hermetic seal failure is often difficult to identify. We recommend that a experienced window specialist evaluate all the windows, who may very well identify other defective windows.

8.4. The windows have been replaced. You should request documentation from the sellers, which would confirm a professional installation, and could include a transferable warranty, etc.

9. Stairs and Handrails

Observations:

9.1. The front stairs are in acceptable condition.

9.2. The rear wood stairs needs maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the stairs.

9.3. Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.

9.4. The balusters in the stair handrail and/or guardrail are more than 4" apart and do not meet current standards for child safety. We recommend servicing to meet this standard.

9.5. The handrail does not meet current standards as graspable, meaning fingers and thumb can rap around or into grooves so a hand would not easily slip off the handrail.



Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.



The balusters in the stair handrail and/or guardrail are more than 4" apart and do not meet current standards for child safety. We recommend servicing to meet this standard.



The handrail does not meet current standards as graspable, meaning fingers and thumb can rap around or into grooves so a hand would not easily slip off the handrail.

10. Fences and Gates

Observations:

10.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

10.2. The fences and gates have damage that is commensurate with their age such as loose or missing boards and or posts which could be repaired but which is not absolutely essential.

10.3. Portions of this property are not fenced or otherwise enclosed, to provide security for children or animals.

11. Decks

Observations:

11.1. The wooden deck or porch floor is covered and our inspection is limited.



The wooden deck or porch floor is covered and our inspection is limited.

Foundation Comments

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than 1/4" and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. We evaluated the raised foundation by accessing and evaluating the components within the crawlspace.

1.3. The crawlspace access is located at the rear exterior.

1.4. There are gaps or openings which could allow pests to enter. We recommend they be covered with 1/4 wire mesh to prevent rodent access.

1.5. There is cellulose debris in the crawlspace that should be removed.

1.6. Concrete is sloughing off the foundation walls due to its age which should be evaluated by a foundation contractor.

1.7. We recommend metal connectors be added as part of an upgrade to the posts and piers.

1.8. The visible portions of the water pipes are in acceptable condition but should be monitored because of their location. Leaks from pipes that pass through a crawlspace can be difficult to detect until significant damage is evident elsewhere.

1.9. Ventilation of the foundation crawlspace is conventional and should be adequate.

1.10. There is no floor insulation which would not have been required when this residence was constructed.

1.11. There are moisture stains beneath the bathroom which should be evaluated by the termite inspector.

1.12. There is earth to wood contact within the crawlspace that should be evaluated by the termite inspector.

1.13. The floors are generally wavy or uneven throughout the residence. We can elaborate if

necessary, but you should have a specialist conduct a manometer survey or comment on this condition.

1.14. The raised foundation home was built prior to the practice of bolting the framing to the foundation and does not meet current seismic safety standards. We recommend a qualified licensed specialist evaluate and provide a quote for retrofitting the foundation. This important safety issue could affect your valuation of the property. Some of the posts and piers that supports structural beams within the foundation crawlspace are not properly connected and are structurally vulnerable. We recommend further evaluation by a qualified licensed specialist and serviced as required

1.15. The cripple walls have been seismically displaced or have settled out of plumb, and should be evaluated by a specialist.

1.16. The cripple walls do not include shear panel and will remain seismically vulnerable, and therefore should be upgraded.

1.17. There is an open electrical junction box, which presents a fire hazard. All junction boxes should be sealed so that any arcing or sparking would be contained within the box.

1.18. The cast iron drain waste pipes in the crawlspace are beyond their designed life, portions are rusting and should monitor for replacement.

1.19. We noted repair made. The repairs appear to be a stop gap and not very effective. We recommend further evaluation by a qualified licensed foundation specialist.

1.20. The laundry room framing is not built to current standards and should be evaluated by a qualified licensed foundation specialist and serviced as required.



The cripple walls have been seismically displaced or have settled out of plumb, and should be evaluated by a specialist.



Concrete is sloughing off the foundation walls due to its age which should be evaluated by a foundation contractor.



There is an open electrical junction box, which presents a fire hazard. All junction boxes should be sealed so that any arcing or sparking would be contained within the box.



The cast iron drain waste pipes in the crawlspace are beyond their designed life, portions are rusting and should monitor for replacement.



Concrete is sloughing off the foundation walls due to its age which should be evaluated by a foundation contractor.



There are moisture stains beneath the bathroom which should be evaluated by the termite inspector.



We noted repair made. The repairs appear to be a stop gap and not very effective. We recommend further evaluation by a qualified licensed foundation specialist.



There are gaps or openings which could allow pests to enter. We recommend they be covered with 1/4 wire mesh to prevent rodent access.



We recommend metal connectors be added as part of an upgrade to the posts and piers.



The cripple walls have been seismically displaced or have settled out of plumb, and should be evaluated by a specialist.



There is cellulose debris in the crawlspace that should be removed.



The cripple walls have been seismically displaced or have settled out of plumb, and should be evaluated by a specialist.

Roofing

1. Roof Gutters

Observations:

1.1. The gutters need to be cleaned to drain properly.

1.2. Some downspouts are missing or need to be reconnected, and should be serviced.



Some downspouts are missing or need to be reconnected, and should be serviced.



The gutters need to be cleaned to drain properly.

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage. Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The composition shingle roof appears to be approximately fourteen to sixteen years old, but this is just an estimate and you should request the installation permit from the sellers, which will reveal its exact age and any warranty or guarantee that might be applicable.

2.4. The composition shingle roof is in the primary stages of decomposition, which means that the roof is in decline and while it is still in acceptable condition it will become more susceptible to leaks. It will need to be maintained and closely monitored, because it is approaching the end of its serviceable life, and you may wish to have a second opinion before the close of escrow.

2.5. There are areas of the roof was installed over less than the recommended three-twelve pitch. We did not observe any issues, but the lack pitch could contribute to poor run-off.

2.6. The roof includes a satellite dish that has been installed by bolting through the roof, which can be a common point of leaks and should be monitored.

2.7. There is a penetration on the roof that is open and should be sealed.



The composition shingle roof is in the primary stages of decomposition, which means that the roof is in decline and while it is still in acceptable condition it will become more susceptible to leaks. It will need to be maintained and closely monitored, because it is approaching the end of its serviceable life, and you may wish to have a second opinion before the close of escrow.

There is a penetration on the roof that is open and should be sealed.



The roof includes a satellite dish that has been installed by bolting through the roof, which can be a common point of leaks and should be monitored.

Fireplace

1. Living Fireplace Comments

Observations:

1.1. The chimney/fireplace is an older unlined chimney. Unlined chimneys, or those without flue liners, are suspect. Although such flues include a plaster coat of mortar, the corrosive effect of flue gases and the elements can deteriorate the mortar. In fact, the Chimney Safety Institute of America reported in 1992 that "all unlined chimneys, irrespective of fuel used, are very liable to become defective through disintegration of the mortar joints." For this reason, we recommend that all unlined chimneys be evaluated by a specialist or video scanned before the close of escrow.

1.2. The furnace is no longer in use. It's chimney is seismically vulnerable.

Plumbing Components

1. Water Supply Comments

Observations:

1.1. The main water shut-off valve is located at the rear of the house.

1.2. The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

1.3. The potable water pipes within this residence are predominantly galvanized, and are assumed to be original. While they may be in acceptable condition, their service life is generally considered 40 to 50 years. They will produce rusty looking water from time to time. And, because the water volume in such pipes will gradually be reduced by a build-up of minerals within them, we do not fully endorse them. However, some of these pipes have been replaced with copper, and you should expect to continue replacing others.

1.4. Sections of the residence are served by Cross-Linked Polyethylene, also known as PEX. The visible potable water pipes are in satisfactory condition.

1.5. The volume of water is reduced when one or more plumbing fixtures are in use, and you may want to have this evaluated by a licensed plumbing contractor.



Main water shutoff



The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

2. Gas Service Information

Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

2.2. The gas main shut-off is located on left side of the home, unit or building.

2.3. The visible portions of the gas pipes appear to be in acceptable condition.

2.4. We recommend that a wrench, designed to fit the gas shut-off valve, be located on or adjacent the gas meter to facilitate an emergency shut-off.



Gas shutoff

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

4. Gas Water Heater Comments

Observations:

- 4.1. Hot water is provided by a 40 gallon gas water heater that is located in the laundry room.
- 4.2. The water heater is functional and there were no leaks at the time of our inspection.
- 4.3. The water heater is about 13 years old.
- 4.4. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.
- 4.5. The gas control valve and its connector at the water heater is presumed to be functional.
- 4.6. The drain valve of the gas water heater is in place and presumed to be functional.
- 4.7. The water heater is not equipped with a drip pan or overflow pipe, which is a recommended upgrade, and which is designed to prevent or minimize water damage from a leak.
- 4.8. The water heater appears to have adequate combustion-air.
- 4.9. The water heater is seismically secured.
- 4.10. The water heater has been red-tagged by the Gas Company and should be evaluated by a licensed plumbing Contractor.
- 4.11. The vent draft hood is not drafting properly and is spilling combusted gases into the laundry room. We recommend that a licensed plumbing contractor evaluate and service this issue.
- 4.12. The vent pipe should extend at least 3 feet above the roof line and a minimum 5 feet above the flue collar, to safely discharge the bi-products of combustion beyond the residence, and should be serviced.
- 4.13. The diameter of the discharge pipe from the pressure relief valve on the water heater has been incorrectly reduced in size and should be replaced by a licensed plumber before the close of escrow.



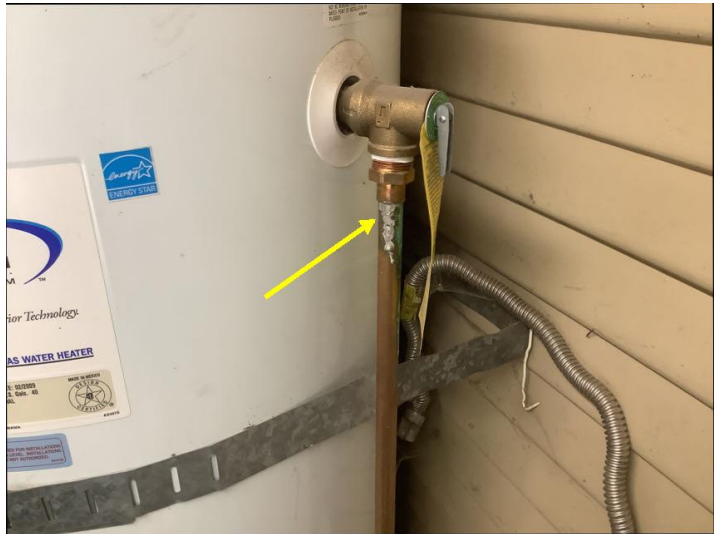
Hot water is provided by a 40 gallon gas water heater that is located in the laundry room.



The vent pipe should extend at least 3 feet above the roof line and a minimum 5 feet above the flue collar, to safely discharge the bi-products of combustion beyond the residence, and should be serviced.



The water heater has been red-tagged by the Gas Company and should be evaluated by a licensed plumbing Contractor.



The diameter of the discharge pipe from the pressure relief valve on the water heater has been incorrectly reduced in size and should be replaced by a licensed plumber before the close of escrow.

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are an older cast-iron, with some newer **ABS** and **PVC** pipes which is more dependable than the cast-iron drainpipes.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

5.4. A clean-out is located at the front and on the right side.

6. SewerScan Comments

Observations:

6.1. Cornerstone Inspection, an Authorized SewerScan™ Contractor, was retained for a survey of the building main sewer line in an effort to identify areas of suspect clogs or damage and to document the areas for further review. Further investigations of these areas or destructive testing may reveal additional conditions that were not readily visible at time of inspection. This report is based on information obtained at the site at the given date and time. We document our findings with videos and visual photographs of the areas. The purpose of any sewer scan service is to document problems in sewer lines. Our inspection is designed to comply with accepted industrial standards when at all possible and will be performed in a non-destructive manner, however at times destructive testing may be necessary. Prior to any destructive testing, the client will be notified and approval by the client prior to commencing additional testing. Our inspection is not meant to be a guarantee of all affected areas; only those that reveal themselves to our sewer camera, visual inspection and our experience.

This report is for the exclusive use of our Client and is not intended for any other purpose. The report is based on the information available to us at this time as described in the report. Should additional information become available at a later date, we reserve the right to determine the impact, if any, the new information may have on our discovery and recommendations and to revise our opinions and conclusions if necessary and warranted. We can make no representations regarding conditions that may be present but concealed or inaccessible during the survey. With access and an opportunity for inspection, additional reportable conditions may be discovered. Inspection of the inaccessible areas will be performed at an additional cost after access is provided

Orientation

We will describe the locations of the various features of this property, left or right, etc., as though we were standing in street looking at the front of building.

Analysis and Recommendations

We recommend that your maintenance team carefully review this report. Then, with reference to the imagery and areas denoted in the report, these areas should be physically located and given a thorough visual examination. When warranted, these areas should be subjected to a destructive investigation to confirm the analysis and determine the possible detrimental effects the blockage may have caused. We recommend a specialist conduct additional testing as needed to evaluate the reliability of system. Any destructive testing performed as authorized by the client must be repaired by others and is not considered in this scope of our work. Services such as interpretation of visual patterns documented in this report and any remedial and replacement recommendations should be performed by knowledgeable experts.

We recommend all areas we locate in this report showing blockage anomalies should be evaluated further to find out the cause and repaired. Our recommendations are not intended as criticisms of the building, but rather as professional opinions regarding conditions that we observed.

Our reports are designed to be clear, concise and useful. Please review this report carefully. If

there is anything you would like us to explain, or if there is other information you would like, please feel free to call us, as we would be happy to answer any questions.

6.2. A SewerScan was requested of the main drain line from house to city or private sewer connection. The following is a report of our findings. If a video was completed, it will be provided separate from this report.

6.3. We entered the drain waste drain lateral pipe at the rear house and reached the city main at about 173 feet. Both homes use the same lateral.

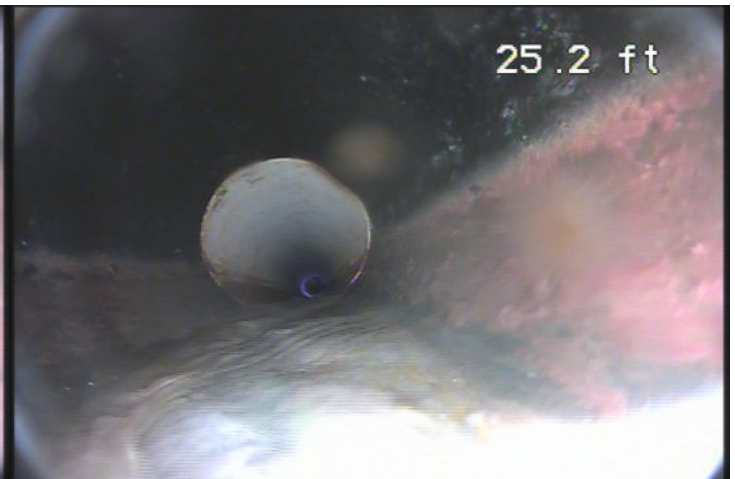
6.4. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or **ABS** and **PVC** with clay under the sidewalk and street.

6.5. There is root growth present, in the clay pipe connections, which is commonly a result of a damaged drain line or void in a joint. We recommend further review and repair as needed.

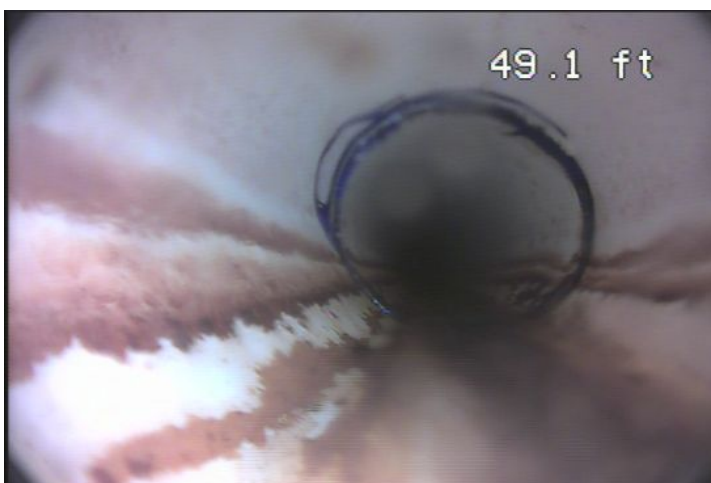
6.6. There is a low point in the drain line, which will promote clogging. We recommend further review and repair as needed.



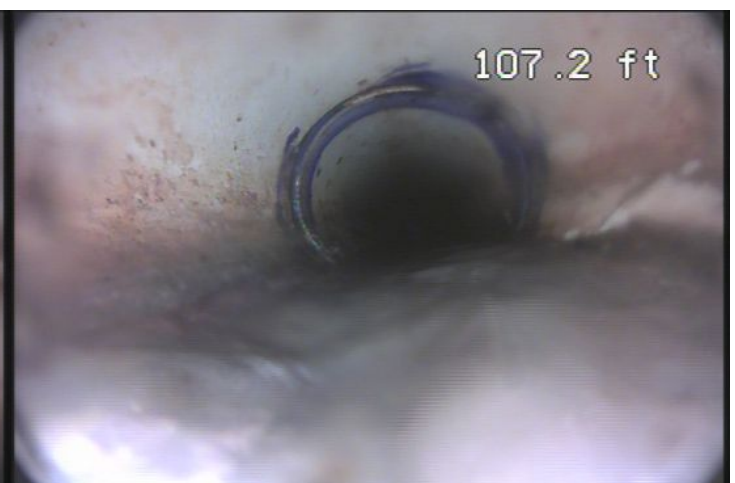
Drain waste pipe connection



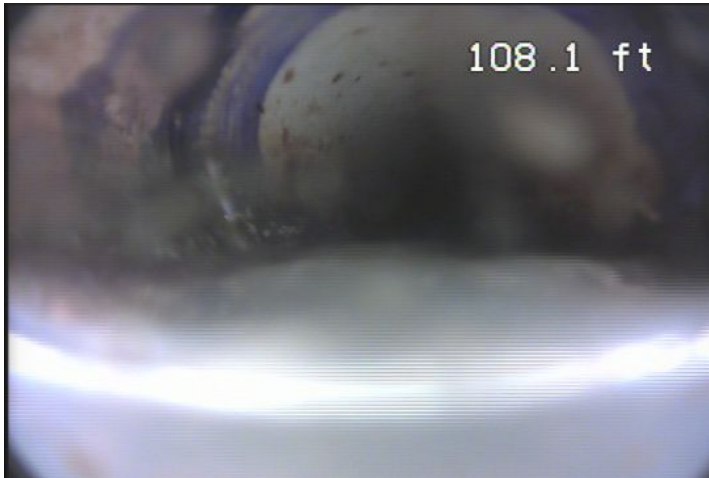
Drain waste pipe connection



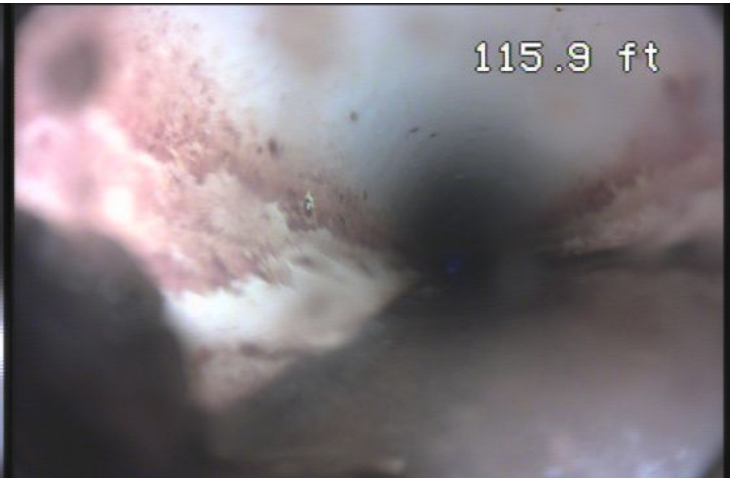
Drain waste pipe connection



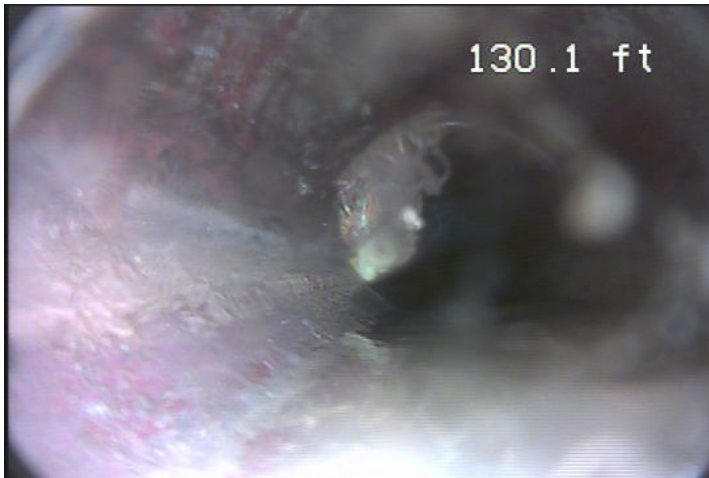
Drain waste pipe connection



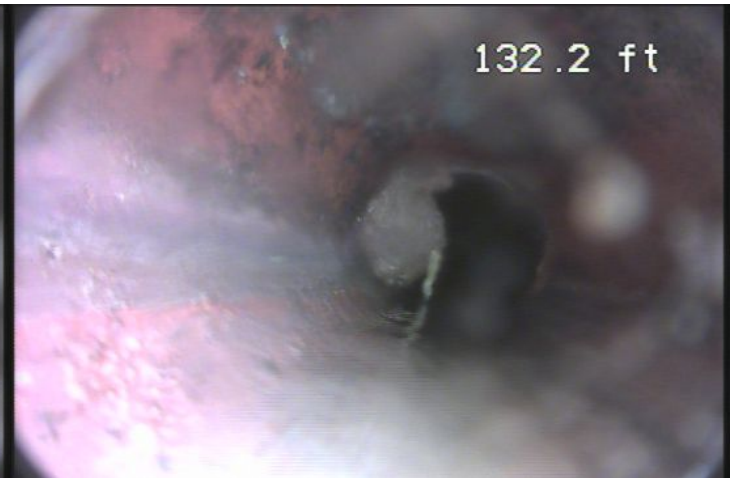
There is a low point in the drain line, which will promote clogging. We recommend further review and repair as needed.



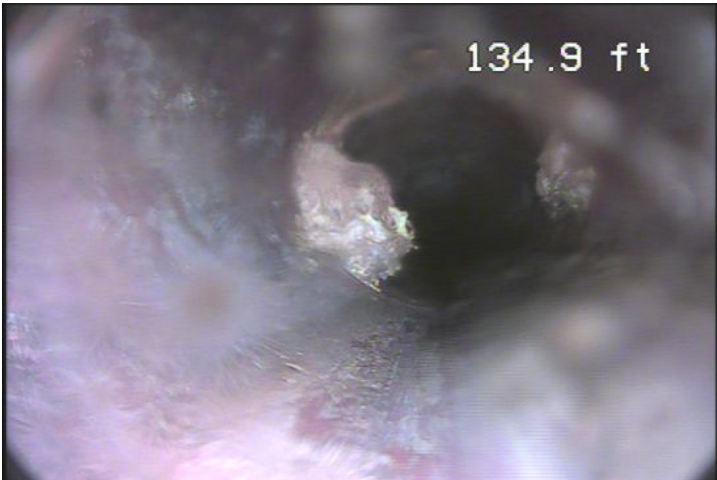
There is a low point in the drain line, which will promote clogging. We recommend further review and repair as needed.



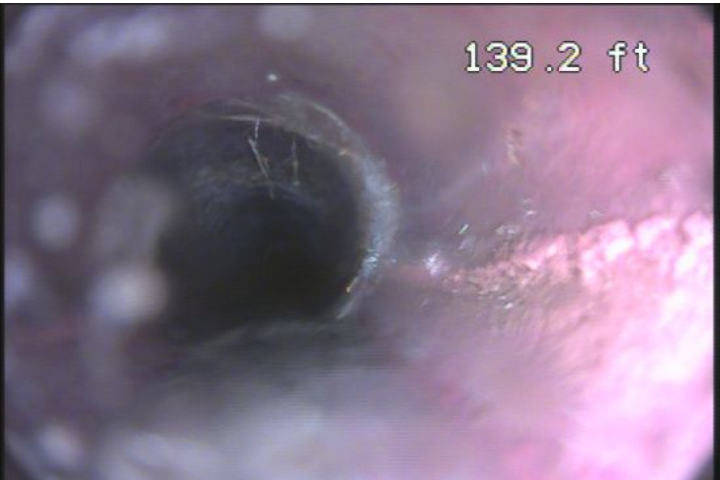
There is root growth present, in the clay pipe connections, which is commonly a result of a damaged drain line or void in a joint. We recommend further review and repair as needed.



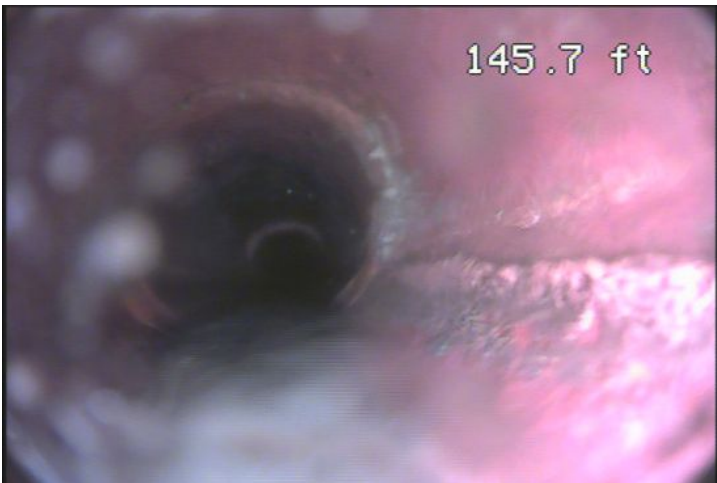
There is root growth present, in the clay pipe connections, which is commonly a result of a damaged drain line or void in a joint. We recommend further review and repair as needed.



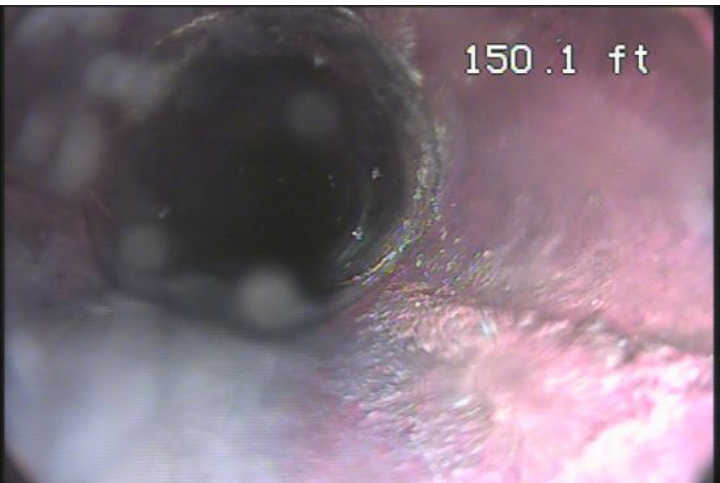
There is root growth present, in the clay pipe connections, which is commonly a result of a damaged drain line or void in a joint. We recommend further review and repair as needed.



There is root growth present, in the clay pipe connections, which is commonly a result of a damaged drain line or void in a joint. We recommend further review and repair as needed.



Drain waste pipe connection



Drain waste pipe connection



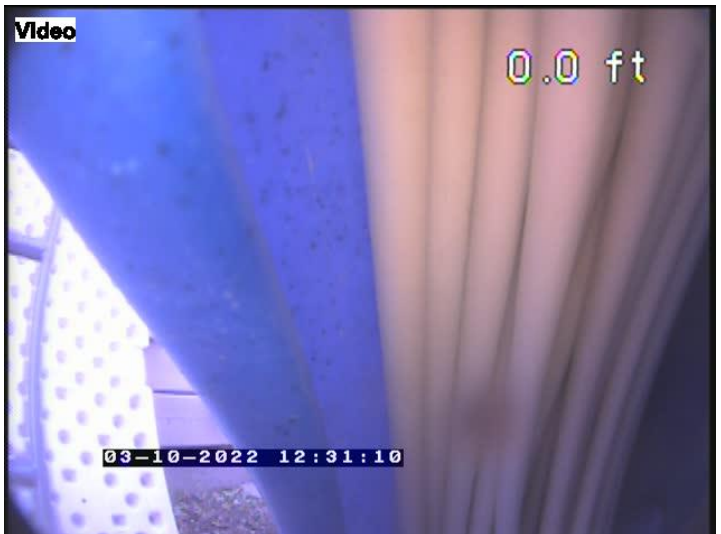
Drain waste pipe connection



Drain waste pipe connection



We entered the drain waste drain lateral pipe at the rear house and reached the city main at about 173 feet. Both homes use the same lateral.



Video <https://youtu.be/WgTVFHht430>

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 125 amp main electrical panel, located at the left side of the home or unit.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior cover for the main electrical panel is in acceptable condition.

1.5. The main panel and its components have no visible deficiencies.

1.6. The panel is not an original installation. Therefore, you should request documentation from the sellers, which will confirm that the installation was made with permit and by a licensed contractor.

1.7. The service entrance mast weather head and cleat are in acceptable condition.

1.8. The wiring in the main electrical panel has no visible deficiencies.

1.9. The house includes suspect knob-and-tube wiring, which should be evaluated by an electrician and certified as being safe or replaced.

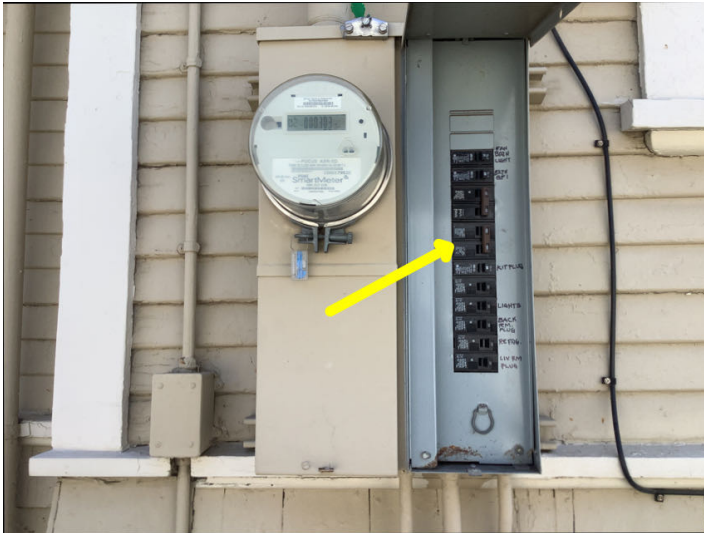
1.10. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.11. There are no visible deficiencies with the circuit breakers in the main electrical panel.

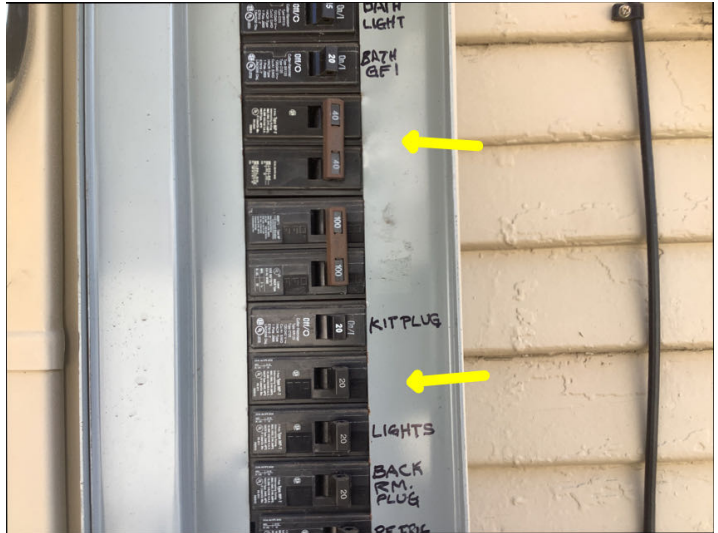
1.12. The panel is correctly grounded to a driven rod.

1.13. Current standards require the panel to be double-grounded, and you may wish to consider having this done as a safety upgrade. However, such an upgrade is not currently mandated.

1.14. Various circuits are not labeled, which is recommended.



Main electrical service disconnect(Shutoff)



Various circuits are not labeled, which is recommended.

Interior Living Space

1. Main Entry

Observations:

- 1.1. The front door is functional.
- 1.2. There is no doorbell and you may wish to have one installed.
- 1.3. The window panes are not tempered or safety glass which is required by current standards.
- 1.4. The smoke alarm responded to the test button, but should be checked periodically.
- 1.5. The smoke alarm in the bedroom may not be in the location recommended by the manufacturer.

2. Living Room

Observations:

- 2.1. The living room is located adjacent to the main entry.
- 2.2. The smoke alarm responded to the test button, but should be checked periodically.
- 2.3. The smoke alarm may not be in the location recommended by the manufacturer. We can elaborate but you may wish to verify this.
- 2.4. The floor is out of level. We can elaborate, but this condition should be evaluated by a structural engineer or a foundation contractor.
- 2.5. A window is out of square which indicates movement and damage to the foundation. We recommend further evaluation by a licensed foundation contractor and serviced as required.



A window is out of square which indicates movement and damage to the foundation. We recommend further evaluation by a licensed foundation contractor and serviced as required.



A window is out of square which indicates movement and damage to the foundation. We recommend further evaluation by a licensed foundation contractor and serviced as required.

3. Dining Room

Observations:

- 3.1. The Dining room is located adjacent to the kitchen.
- 3.2. The smoke alarm responded to the test button, but should be checked periodically.
- 3.3. The smoke alarm may not be in the location recommended by the manufacturer. The alarm should not be located in a corner at the wall and sealing.
- 3.4. There are not as many outlets as would be required by current standards, and you may wish to consult an electrician with a view to adding more.

Bedrooms

1. Bedroom 1

Observations:

- 1.1. This bedroom is located at the front of the home.
- 1.2. The smoke alarm may not be in the location recommended by the manufacturer. We can elaborate but you may wish to verify this.
- 1.3. It would be prudent to add a door stop at the door to protect the wall that it opens into.
- 1.4. The door knob and or hardware needs to be serviced to work smoothly.
- 1.5. The door window panes are not tempered or safety glass which is required by current standards, and should be serviced.
- 1.6. There are not as many outlets as would be required by current standards, and you may wish to consult an electrician with a view to adding more.
- 1.7. The smoke alarm did not respond, and should be serviced before the close of escrow.
- 1.8. The smoke alarm does not have a battery back-up installed which is required.



The smoke alarm may not be in the location recommended by the manufacturer. We can elaborate but you may wish to verify this.

2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the rear of the home.
- 2.2. The smoke alarm responded to the test button, but should be checked periodically.
- 2.3. The smoke alarm may not be in the location recommended by the manufacturer. The alarm should not be located in a corner at the wall and sealing.
- 2.4. The door knob and or hardware needs to be serviced to work smoothly.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

2.2. The cabinets will need service to work well, such as replacing or adjusting drawer glides, pull latches, hinges, catches, etc.

3. Countertop

Observations:

3.1. The counter top is functional.

4. Electrical Components

Observations:

4.1. The lights are functional.

4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

5. Sink and Faucet

Observations:

5.1. The sink is functional.

5.2. The sink faucet and its components are functional.

5.3. The valves and connector below the sink are functional.

5.4. The trap and drain are functional.

6. Garbage Disposal Comments

Observations:

6.1. The garbage disposal is functional.

7. Exhaust Fan

Observations:

7.1. The exhaust fan is functional and a type that vents internally.

8. Gas Range & Cook Top

Observations:

8.1. The gas range is functional, but was neither calibrated nor tested for its performance.

8.2. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

1. 1st Guest Bathroom

Observations:

1.1. This bathroom is a full, and is located between bedrooms 1&2.

1.2. The cabinets will need service to work well, such as replacing or adjusting drawer glides, pull latches, hinges, catches, etc.

1.3. The sink countertop is functional.

1.4. The sink is functional.

1.5. The sink faucet and its components are functional.

1.6. The trap and drain are functional.

1.7. The outlets are functional and include ground-fault protection.

1.8. The lights are functional.

1.9. The exhaust fan is functional.

1.10. The toilet is identified as being a low-flush type. 1.28gpf

1.11. The tub-shower is functional.

1.12. The toilet is loose. We recommend the toilet be reseated with a new wax ring, properly bolted and sealed to the floor.

Laundry

1. Laundry Room

Observations:

1.1. The laundry room is located at the rear of the house.

1.2. The Laundry room appears to have been remodeled, or an addition. If so, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects may exist.

1.3. Most if not all of the components behind the washer/ dryer were obstructed from view and were not inspected.

1.4. A dryer vent is provided and appears serviceable. It should be cleaned 1-2 times per year to prevent lint build-up which can be highly flammable.

1.5. The gas control valve and its connector is presumed to be functional.

1.6. The outlets that were tested are functional.

1.7. There is no visible 220 outlet for electric dryers. One may be able to be installed and you should consult with a licensed electrician regarding this issue if a 220 outlet is needed.

1.8. The washer and dryer are powered with the use of extension cords. We recommend a qualified licensed electrician bring power to the area so as to eliminate the use of extension cords.

1.9. The lights are functional.

1.10. The exterior door is functional but not fully weather sealed and could be subject to moisture intrusion especially during wind driven rain. We recommend it be serviced tho be weather tight.

1.11. The interior door deadbolt is not installed.

1.12. The interior door window panes are not tempered or safety glass which is required by current standards.

1.13. The windows are not operable and should be serviced.

1.14. Vines are growing through the wall and into the laundry room. We recommend this be serviced to prevent damage from the vegetation.

1.15. There are large large gaps in the wall. We recommend further evaluation by a qualified contractor and serviced as required.



Vines are growing through the wall and into the laundry room. We recommend this be serviced to prevent damage from the vegetation.



There are large large gaps in the wall. We recommend further evaluation by a qualified contractor and serviced as required.

Heating & Air conditioning

1. Wall Furnace

Observations:

- 1.1. Heat is provided by a wall furnace located in the living room. Such furnaces are among the oldest and least efficient of heating systems.
- 1.2. The wall furnace is functional.
- 1.3. The vent pipe is functional.
- 1.4. The gas valve and connector are in acceptable condition.
- 1.5. The thermostat is functional.



Furnace Brand--Williams Model--3509-022 Manufactured 2001

Attic's

1. Attic

Observations:

1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

1.2. The attic can be accessed through a hatch in the the bedroom 2 closet ceiling.

1.3. We evaluated the attic by direct access.

1.4. The visible portions of the conventionally stacked roof framing are in acceptable condition, and would conform to the standards of the year in which they were installed.

1.5. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.

1.6. There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.

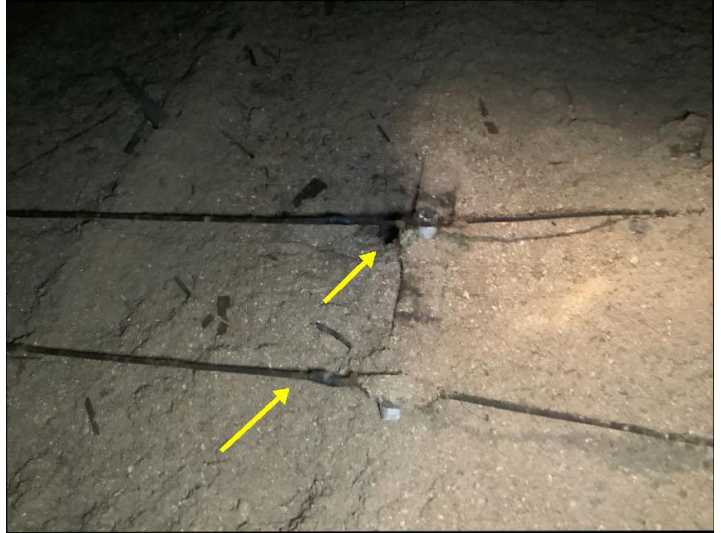
1.7. There is insulation and knob end tube wiring present which is a safety hazard which should be evaluated by a licensed electrical contractor.

1.8. The 1st guest bathroom exhaust duct should be extended to an exterior port.

1.9. A vent pipe terminates in the attic and should terminate 6" or more above the roof. This issue should be repaired by a licensed plumber.



There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained. A penetration no longer has a vent pipe through it and is open which will allow moisture intrusion.



There is insulation and knob end tube wiring present which is a safety hazard which should be evaluated by a licensed electrical contractor.



The 1st guest bathroom exhaust duct should be extended to an exterior port.



A vent pipe terminates in the attic and should terminate 6" or more above the roof. This issue should be repaired by a licensed plumber.

Glossary

<i>Term</i>	<i>Definition</i>
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.

Cornerstone Inspection

Property Inspection Report



***1220-1/2 Mill Street, San Luis Obispo, CA 93401
Inspection prepared for: Ida Mae Gracia
Real Estate Agent: Kristi Donati - Compass***

***Date of Inspection: 3/10/2022 Time: 9:00 AM
Age of Home: 1910 Size: 1480
Order ID: 8356***

***Inspector: Gus Vasquez
CREIA CCI #0155505***

Email: gus@cornerstonecentralcoast.com

**CORNERSTONE
INSPECTION**

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. All repairs must be done by a qualified licensed & bonded trade or profession. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report may only illustrate an example of the issue being reported. More issues or defects may exist that will be discovered by a specialist retained to evaluate the specific issue. Locations of various components identified within the report such as "left" or "right" side, "front" or "rear" of the property are described from the perspective of facing the front door. Please use the photo, if one, on the cover page of this report to define the "front" of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

On this page you will find, in **RED**, a brief summary of any critical concerns of the inspection, as they relate to Health & Safety, or could be costly to repair. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report. Basic maintenance or recommend upgrade items will be in **BLUE**.

Informational comments will be in typical black lettering. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the home has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist. Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Exterior

Page 7 Item: 6	Electrical Components	6.2. An outlet at the rear has an open-ground, has a reversed-polarity and should be evaluated and serviced by a licensed electrical contractor.
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Foundation Comments

Page 9 Item: 1	Crawlspace Observations	1.3. The floors are generally wavy or uneven throughout the residence. We can elaborate if necessary, but you should have a specialist conduct a manometer survey or comment on this condition.
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Plumbing Components

Page 13 Item: 5	Gas Water Heater Comments	<p>5.12. The pressure relief valve on the water heater does not have a discharge pipe. One should be installed to terminate no more than 24 inches above grade and no closer than 6 inches to it and be directed down towards the ground.</p> <p>5.13. There is inadequate combustion air vent ports on the water heater door to achieve complete combustion. We recommend installing new ventilation port screens or enlarging the existing ports to current standards.</p>
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Bedrooms

Page 18 Item: 1	Bedroom 1	1.4. The smoke alarm did not respond, and should be serviced before the close of escrow.
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Kitchen

Page 19 Item: 4	Electrical Components	4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.
Page 20 Item: 6	Garbage Disposal Comments	6.2. The electrical connection to the garbage disposal is substandard. The approved appliance cord is missing its protective clamp.
Page 20 Item: 9	Gas Range & Cook Top	9.2. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

Page 21 Item: 1	1st Guest Bathroom	<p>1.11. Single-hung windows will need service to function properly. Single-hung windows are typically designed so that the lower panel open. The hardware needs to be service as the window will not properly stay in place when opened.</p> <p>1.12. A window or windows within 60 inches of the standing surface of the tub or shower is not identified as safety-glazed or tempered, which is required to be for safety reasons. We recommend further evaluation by a window specialist.</p>
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Site and Other Comments

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. The buyer's agent was present during the inspection.

1.3. The residence is furnished, and in accordance with California Real Estate Inspection Association (CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.4. Our inspection was limited due to the excessive amount of personal contents located within the home.

1.5. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer disclosure obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report. Our inspections are followed up with an addendum or supplemental information that is issued to our clients after the original reports have been released to the other parties involved in the transaction. If you like the quality and thoroughness of this report, and wish to retain Cornerstone Inspection, Inc., we would be happy to perform an on-site review of the report and inspection for a fee of \$175, or 1/2 the original inspection fee, whichever is more. A review usually takes on the average home about 1 hour. The review includes a consultation at the property, and includes the issuance of a new report and contract in your name.

1.6. We do not inspect window coverings as a part of our service, however there are blinds present with pull cords that have been found to be a choke hazard, especially if small children occupy the home. These cords should be secured within the windowsill area at a point where they can only be reached by an adult.

1.7. We do not evaluate auxiliary structures, such as storage buildings as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.8. We prefer to have our clients present during, or immediately following, the inspection so that we can elaborate on what may well be complicated or technical issues that could be somewhat difficult for the average person to understand. Inasmuch as you were not present, we encourage you to read the whole report and not just the summary report, and to consult with us directly. Also, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others.

2. Environmental Comments

Observations:

2.1. Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before 1978 should not be assumed to be free from these and other well-known contaminants. Regardless, we do not have the expertise or the authority to detect the presence of environmental contaminants, but if this is a concern, you should consult with an environmental hygienist, and particularly if you intend to remodel any area of the residence.

2.2. A domestic animal occupies the residence, which can have an adverse affect on air quality and require extensive cleaning of walls, floors, air ducts, etc. We will not comment further, but do read the disclaimer at the beginning of this section of the report.

2.3. We noticed the presence of rodent droppings in water heater closet and you may wish to have a pest control company evaluate.

2.4. The carbon-monoxide detectors are functional but should be checked periodically.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have be apparent otherwise.

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirmed moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is solely dependant on soil percolation, which is not ideal. Water may pond during prolonged rains. We recommend adding gutters, hard surfaces and area drains to improve grading and encourage moisture move away or around the foundation.

2.3. The property does not have hard surfaces in some of the side yards to facilitate drainage. Water will percolate and pond adjacent to the residence which is not ideal. You may wish to consider upgrading the site by adding hard surfaces, swales or area drains that direct water away from the residence.

2.4. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with a combination of wooden and cement-fiber siding.

3.2. The siding needs typical maintenance such as sealing and painting. This should include caulking and filling gaps or openings such as small cracks or openings at hose bibs, and sealing with a proper primersealer, then one or two finish coats.

4. Hard Surfaces

Observations:

4.1. There are significant cracks or offsets in the driveway, which could prove to be trip-hazards that you may wish to have repaired.

4.2. There are several offsets in the walkways that could prove to be trip-hazards.



There are significant cracks or offsets in the driveway, which could prove to be trip-hazards that you may wish to have repaired.



There are several offsets in the walkways that could prove to be trip-hazards.

5. Wood Trim, Facia and Eave

Observations:

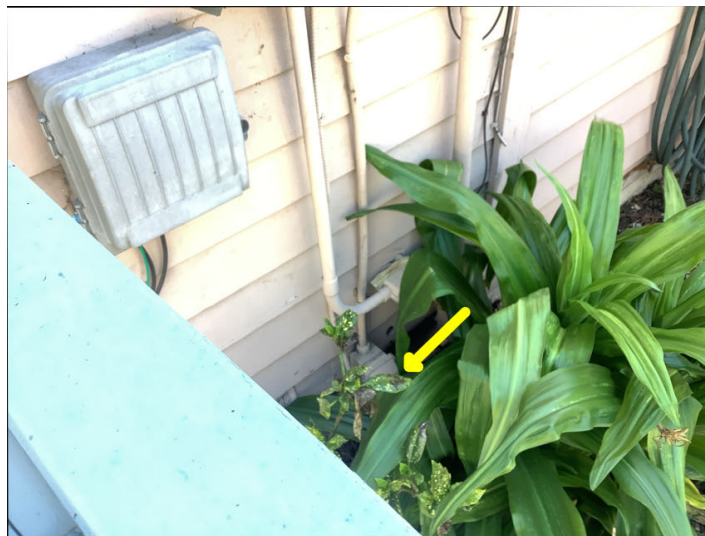
5.1. The termite report should confirm moisture, dry rot or insect damage to the facia board and or eaves of the roof.

6. Electrical Components

Observations:

6.1. The outlets are functional and include ground-fault protection.

6.2. An outlet at the rear has an open-ground, has a reversed-polarity and should be evaluated and serviced by a licensed electrical contractor.



An outlet at the rear has an open-ground~~~has a reversed-polarity and should be evaluated and serviced by a licensed electrical contractor.

7. Windows

Observations:

- 7.1. In accordance with industry standards, we only test a representative sample of windows.
- 7.2. Most of the windows appear to be the same age as the home and will not necessarily function or operate as smoothly as modern windows. However we do test every unrestricted window in every bedroom to ensure that they facilitate an emergency exit.
- 7.3. This home has older and probably original Double-hung, single pane wood windows. Double-hung windows are typically designed so that both the upper and lower panels open. Since older windows rarely function as intended, one or more of these windows in this area will need to be serviced to fully function, such as sanding and hardware service to the sash and or weights., which should be performed by specialists familiar with this type of window.
- 7.4. The aluminum single pane bedroom windows need to be cleaned to prevent molds from growing on the bottom area of the window where condensation forms.
- 7.5. Dual-pane windows are present that includes hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

8. Stairs and Handrails

Observations:

- 8.1. The wood stairs needs maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the stairs.
- 8.2. Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.
- 8.3. There is damage to the wood stairs that should be evaluated by the termite inspector.
- 8.4. The stairs have earth to wood contact and should be evaluated by the termite inspector.

9. Fences and Gates

Observations:

- 9.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.
- 9.2. The fences are serviceable, and would not need service at this time.
- 9.3. The left gate needs maintenance-type service, to open and close or latch easily.

10. Decks

Observations:

10.1. There is damage to the deck (main entry) that should be evaluated by the termite inspector.

Foundation Comments

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than 1/4" and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. We cannot access the foundation crawlspace, due to lack of access and/or limited space.

1.3. The floors are generally wavy or uneven throughout the residence. We can elaborate if necessary, but you should have a specialist conduct a manometer survey or comment on this condition.

Roofing

1. Roof Gutters

Observations:

1.1. There are no gutters on the home which are recommended for the maintenance of the foundation and for good grading and drainage.

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage. Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The roof appears to be relatively new, and is not original. However, this is just an estimate and you should request the installation permit from the sellers, which will reveal its exact age and any warranty or guarantee that might be applicable.

2.4. The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.5. The roof includes a satellite dish that has been installed by bolting through the roof, which can be a common point of leaks and should be monitored.

2.6. The roof flashings are in acceptable condition.

Plumbing Components

1. General Plumbing Comments

Observations:

1.1. As of January 1, 2017, building standards/state law require that flow rates for fixtures in the home not exceed; 1.6 gpf for toilets, 2.2 gpm for faucets and 2.5 gpm for shower heads. It is beyond the scope of the inspection to determine the flow rates of the plumbing fixtures in the home. Refer to seller.

2. Water Supply Comments

Observations:

2.1. The main water shut-off valve is located at the left side of the house.

2.2. The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

2.3. All or most of the horizontal water pipes have been replaced with copper. However, the vertical portions of the pipes remain, which are known as the risers and are concealed within walls, etc. You should request the documentation from the sellers, which reveal the age of the new pipes, and could include a warranty or guarantee.

2.4. Some of the water supply lines have been plumbed with landscape grade **PVC** pipes, which is not recommended, and not allowed in most jurisdictions.



Main water shutoff



The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.



Some of the water supply lines have been plumbed with landscape grade **PVC** pipes, which is not recommended, and not allowed in most jurisdictions.

3. Gas Service Information

Observations:

3.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

3.2. The gas main shut-off is located on left side of the front home, unit or building.

3.3. The visible portions of the gas pipes appear to be in acceptable condition.

3.4. We recommend that a wrench, designed to fit the gas shut-off valve, be located on or adjacent the gas meter to facilitate an emergency shut-off.



Gas shutoff

4. Irrigation and Hose Bibb Information

Observations:

4.1. We do not evaluate sprinkler systems, which should be demonstrated as functional by the sellers.

4.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

4.3. We have observed exposed **PVC** pipe on the exterior, which may become brittle when exposed to sun's ultraviolet light. This pipes can become subject to breaking or leaking. We recommend painting the **PVC** pipes to block the UV rays and protect the pipe.

5. Gas Water Heater Comments

Observations:

5.1. Hot water is provided by a 40 gallon gas water heater that is located in the exterior closet.

5.2. The water heater is functional and there were no leaks at the time of our inspection.

5.3. The water heater is about 15 years old.

5.4. The water heater is beyond its designed life and should be monitored for leaks and budgeted for its inevitable replacement.

5.5. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.

5.6. The gas control valve and its connector at the water heater is presumed to be functional.

5.7. The vent pipe is functional.

5.8. The drain valve of the gas water heater is in place and presumed to be functional.

5.9. The water heater is not equipped with a drip pan or overflow pipe, which is a recommended upgrade, and which is designed to prevent or minimize water damage from a leak.

5.10. The water heater is seismically secured.

5.11. The base of the water heater closet door is moisture damaged and delaminating, and should be repaired.

5.12. The pressure relief valve on the water heater does not have a discharge pipe. One should be installed to terminate no more than 24 inches above grade and no closer than 6 inches to it and be directed down towards the ground.

5.13. There is inadequate **combustion air** vent ports on the water heater door to achieve complete combustion. We recommend installing new ventilation port screens or enlarging the existing ports to current standards.



Hot water is provided by a 40 gallon gas water heater that is located in the exterior closet.



The pressure relief valve on the water heater does not have a discharge pipe. One should be installed to terminate no more than 24 inches above grade and no closer than 6 inches to it and be directed down towards the ground.



The base of the water heater closet door is moisture damaged and delaminating, and should be repaired.



There is inadequate **combustion air** vent ports on the water heater door to achieve complete combustion. We recommend installing new ventilation port screens or enlarging the existing ports to current standards.

6. Waste and Drain Systems

Observations:

6.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or **ABS**.

6.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

6.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

6.4. A clean-out is located on the left side.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 100 amp main electrical panel, located at the rear of the home or unit.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior cover for the main electrical panel is in acceptable condition.

1.5. The main panel and its components have no visible deficiencies.

1.6. The service entrance mast weather head and cleat are in acceptable condition.

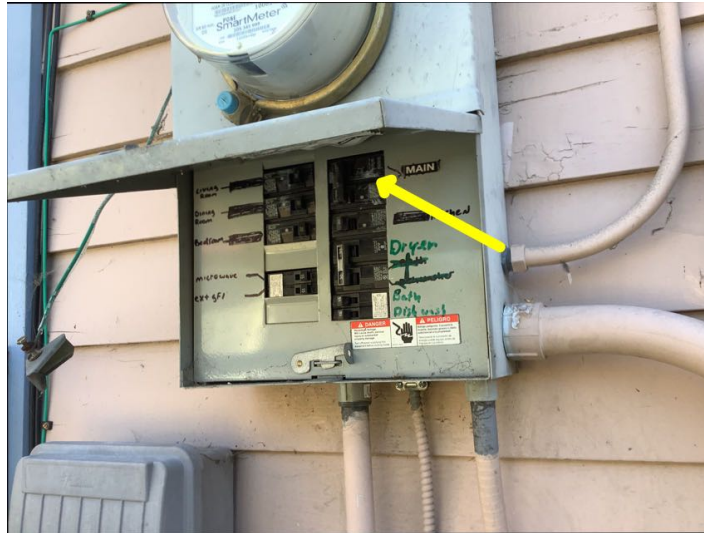
1.7. The wiring in the main electrical panel has no visible deficiencies.

1.8. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.9. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.10. The panel is correctly grounded to a driven rod.

1.11. Current standards require the panel to be double-grounded, and you may wish to consider having this done as a safety upgrade. However, such an upgrade is not currently mandated.



Main electrical service disconnect(Shutoff)

Interior Living Space

1. Main Entry

Observations:

1.1. A door is not square in its opening, which is a result of structural movement. we will elaborate on this issue, but you should have a specialist evaluate.



A door is not square in its opening, which is a result of structural movement. we will elaborate on this issue, but you should have a specialist evaluate.

2. Living Room

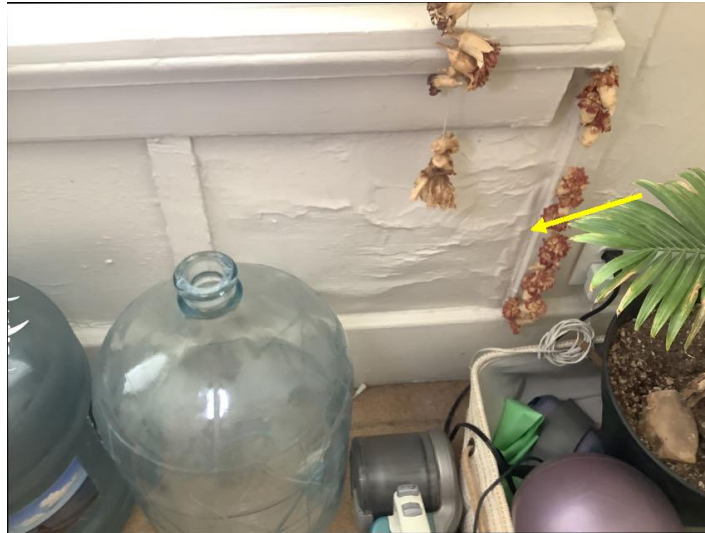
Observations:

2.1. The living room is located adjacent to the main entry.

2.2. The smoke alarm responded to the test button, but should be checked periodically.

2.3. The carbon monoxide alarm is functional, but should be checked periodically.

2.4. There is a moisture damage to the wall under the front window that should be explained or explored further.



There is a moisture damage to the wall under the front window that should be explained or explored further.

3. Dining Room

Observations:

- 3.1. The Dining room is located adjacent to the kitchen.
- 3.2. The smoke alarm responded to the test button, but should be checked periodically.
- 3.3. There are drywall/plaster repair(s) that should be explained by the seller.

Bedrooms

1. Bedroom 1

Observations:

- 1.1. This bedroom is located at the rear of the home.
- 1.2. The deadbolt on the exterior door does not engage easily, and should be repaired or replaced.
- 1.3. The exterior door window panes are not tempered or safety glass which is required by current standards, and should be serviced.
- 1.4. The smoke alarm did not respond, and should be serviced before the close of escrow.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

1.2. The kitchen appears to have been remodeled, or an addition. If so, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects may exist.

2. Cabinets

Observations:

2.1. The cabinets are functional, and do not have any significant damage.

3. Countertop

Observations:

3.1. The counter top is functional.

4. Electrical Components

Observations:

4.1. The light is functional.

4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

5. Sink and Faucet

Observations:

5.1. The sink is functional.

5.2. The sink faucet and its components are functional.

5.3. The valves and connector below the sink are functional.

5.4. The trap and drain are functional.

6. Garbage Disposal Comments

Observations:

6.1. The garbage disposal is functional.

6.2. The electrical connection to the garbage disposal is substandard. The approved appliance cord is missing its protective clamp.



The electrical connection to the garbage disposal is substandard. The approved appliance cord is missing its protective clamp.

7. Dishwasher Comments

Observations:

7.1. The dishwasher is functional.

8. Exhaust Fan

Observations:

8.1. The exhaust fan or downdraft is functional.

9. Gas Range & Cook Top

Observations:

9.1. The gas range is functional, but was neither calibrated nor tested for its performance.

9.2. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

1. 1st Guest Bathroom

Observations:

- 1.1. This bathroom is a full, and is located adjacent to the bedroom 1.
- 1.2. The sink is functional.
- 1.3. The sink faucet and its components are functional.
- 1.4. The trap and drain are functional.
- 1.5. The outlets are functional and include ground-fault protection.
- 1.6. The lights are functional.
- 1.7. There is no exhaust fan and although there are operable windows, we recommend one be installed.
- 1.8. The toilet is loose, and should be secured. The toilet rotates and should be sealed to the floor.
- 1.9. The tub-shower is functional.
- 1.10. The floor is moisture stained and should be evaluated by a termite inspector.
- 1.11. Single-hung windows will need service to function properly. Single-hung windows are typically designed so that the lower panel open. The hardware needs to be service as the window will not properly stay in place when opened.
- 1.12. A window or windows within 60 inches of the standing surface of the tub or shower is not identified as safety-glazed or tempered, which is required to be for safety reasons. We recommend further evaluation by a window specialist.



A window or windows within 60 inches of the standing surface of the tub or shower is not identified as safety-glazed or tempered, which is required to be for safety reasons. We recommend further evaluation by a window specialist.



The floor is moisture stained and should be evaluated by a termite inspector.



The floor is moisture stained and should be evaluated by a termite inspector.

Laundry

1. Laundry Area

Observations:

- 1.1. The laundry area is located within a storage building.
- 1.2. The laundry area was not accessible and was not evaluated.

Heating & Air conditioning

1. Wall Furnace

Observations:

- 1.1. Heat is provided by a wall furnace located in the living room. Such furnaces are among the oldest and least efficient of heating systems.
- 1.2. The wall furnace is functional.
- 1.3. The vent pipe is functional.
- 1.4. The gas valve and connector are in acceptable condition.
- 1.5. The thermostat is functional.
- 1.6. The thermostat is not in the best possible location for the optimum performance and efficiency of the system, and you may wish to have an HVAC contractor apprise you on the advantages of relocating it.



Furnace Brand--Williams Model--5009622 Manufactured 2007



The thermostat is not in the best possible location for the optimum performance and efficiency of the system, and you may wish to have an HVAC contractor apprise you on the advantages of relocating it.

Attic's

1. Attic

Observations:

- 1.1. There is no visible attic access, which would need to be created if the attic and its components are to be evaluated.

Glossary

<i>Term</i>	<i>Definition</i>
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.